

CITY OF ANAHEIM

(2) 2' x 2' Drainage Holes in bottom of pool

1 Drainage Hole in bottom of spa (if present)

Cap All Utilities at Source (Electrical, Water, Gas)

Demo Bond Beam 24" Below Finish Grade

Soil Compaction Testing on Certified Backfill Only

Permit Fees < \$5,000 Valuation is ~\$300

FRISCH AND SONS INC.



Building Department
12 Journey, Suite 100
Aliso Viejo, CA 92656
Phone (949)425-2540
Fax (949)425-3899
www.avcity.org

POOL & SPA DEMO/REMOVAL

CITY STANDARDS FOR ALL POOL AND SPA DEMOLITION PERMITS

Permits Required:

Demolition Permit is required to be obtained prior to any work.

Water Quality permit

Requirements:

1. Provide a plot plan showing the location of the swimming pool and setbacks from structures and property lines.
2. Remove all decking and pool bond beam down to 18" below grade.
3. Remove all pool equipment, gas and electrical lines.
4. A homeowner, General Contractor (B), Swimming Pool Contractor (C53) or Demolition Contractor (C21) may apply for the permit.

Choose one of the following options:

Option A – No soils engineer involved

1. Leave shell
2. Remove the top 18" of pool wall
3. Provide (2) – 3'x3' holes in the lowest portions of the pool bottom (One 3'x3' hole is adequate for a spa).
4. Fill pool shell with crushed rock to within 18" of finished grade.
5. Apply "Geo-technical filter cloth" over rock.
6. Cover with topsoil and compact as needed to prevent future consolidation.

Option B – With soils engineering

1. Break out entire pool bottom or puncture holes, as in" Option A" above, in the bottom of the pool structure or remove shell completely.
2. Back fill with minimum ¼" gravel to a depth of 6" along entire pool/spa bottom.
3. Backfill with dirt and compact every 12" lift of dirt up to the finished grade.
4. Submit a soil compaction report, signed by a licensed Soils Engineer, demonstrating that a minimum compaction of 90% has been achieved.

Inspections

After a demolition permit is obtained, the following elements must be inspected:

1. Bottom hole(s), bond beam removal and disconnection/removal of electrical lighting, electrical feeds, equipment, and related gas lines.
2. Final inspection – finish grade (Option A – Provide copy of invoice for crushed rock, top soil and filter fabric. Option B – Submit required soils compaction report).

DEMOLITION/BACKFILL OF EXISTING SWIMMING POOLS

When a swimming pool is to be demolished and/or backfilled, the following shall be required:

1. A building permit shall be issued to "demolish existing swimming pool, remove equipment, cap/terminate gas and electrical system, and fill excavation with less than 50 cubic yards of earth." In general, it will not be necessary to issue separate electrical, mechanical and grading permits.
2. A dimensioned plot plan shall be completed by the applicant. This plot plan must clearly specify the locations and uses of existing buildings on the site and the location of the existing pool and proposed fill.
3. The pool shall be removed to a point 2'-0" below the resulting finished grade and drainage holes shall be made in the bottom of the pool as follows:
 - a. One 2'-0" square hole (or other opening of equivalent area) in the deep end of the pool;
 - b. Additional 1'-0" square holes (or other openings of equivalent area) distributed evenly at a rate of one of every 50 square feet of pool area; and
 - c. Two holes minimum.
4. City approved backfill procedure shall be as follows:
 - a. Place a 12" thick layer of pea gravel or #4 rock over the entire bottom of the pool/spa.
 - b. Continue to backfill the pool/spa with easily compacted "dirty" sand, commonly called fill sand at building supply outlets. Fill with dirty sand to within 30" of the final surface. Broken concrete from the pool/spa decking or coping shall not be used for backfill. Compact the soil firmly with hand compaction equipment on 6" thick sand lifts with prudent use of water.
 - c. If hardscape is to be constructed over the pool/spa area, fill sand may be placed up to the sub grade level for the hardscape material.
 - d. If the pool/spa area is to be landscaped, the upper 18" may be backfilled with suitable planting medium.
 - e. Final grading of the area shall be done so as to avoid ponding of irrigation or rainfall.
5. The applicant may provide the City's counter technician with a soils engineer's written recommendation (stamped and signed) specifying the fill material to be used, the placement of backfill, and method of compaction if City standard is not used;
 - a. The soils engineer shall certify that the expansion index of the fill does not exceed 20 and provide written certification at completion.
6. An inspection will need to be requested and after the first inspection is made and approved, the fill may be placed.

NOTE: The area of the pool/spa backfill **WILL NOT** be suitable for construction such as room additions, decks, etc., until a geotechnical investigation and inspection is performed by a registered soils engineer.

SWIMMING POOL DEMO

CITY OF BUENA PARK

BUILDING AND SAFETY DIVISION

CITY REQUIREMENTS FOR POOL DEMOLITION

1. Fill out building application for building, plumbing, and electrical.
2. Provide four drainage holes, 8" in diameter at the deepest end of pool equally spaced.
3. Remove pool deck, coping, and shell to 12" minimum below grade.
4. Call for first inspection at 714-562-3641 or online @ its.cforms.net. (Inspection will be performed next business day)
5. Fill up pool cavity with clean, organic-free back fill, at 90% minimum compaction. (Compaction report required)
6. Cap abandoned water, gas, and electrical lines.
7. Call for final inspection.



City of Costa Mesa Building Division

REQUIREMENTS TO ABANDON IN-GROUND SWIMMING POOLS

1. Obtain a demolition permit from the Building Division. The fee is based on the valuation of demolition and fill.
2. Obtain construction access permit from Engineering Division, 4th floor, Costa Mesa City Hall. (Required for \$10,000 valuation or more)
3. Break out and remove a three foot square section of the bottom at each end of the pool.
4. Remove the coping and the bond beam around the perimeter of the pool to 12" below grade.
5. Provide a soil compaction report, certifying a compaction of 90/95% at the time of final inspection.
6. Remove and cap electrical to main service.
7. Remove and cap gas line to main service.
8. Remove and cap water line to main service.
9. Re-establish proper drainage:
 - 2% from Building
 - 1% to an approved disposal area

Please contact the Building Division at (714) 754-5273 if you have any questions.



SWIMMING POOL/SPA DEMOLITION REQUIREMENTS

Demolition of a swimming pool or spa requires preparing the pool/spa for backfilling, and placement and compaction of backfill material. The following procedure is authorized by issuance of demolition permit, which may be obtained at the Building & Safety Department.

- (1) Break out a minimum of two 24" - inch diameter or equivalent holes in the pool/spa bottom for drainage (one hole for spa). One of the holes shall be at the low point in the pool/spa.
- (2) Place a 12" – inch thick layer of pea gravel over the entire bottom of the pool/spa.
- (3) Continue to backfill the pool/spa with easily compacted "dirty" sand, commonly called fill sand at building supply outlets. Fill with dirty sand to within 30" inches of the final surface. **Broken concrete from the pool/spa decking shall not be used for backfill.** Compact the soil firmly with hand compaction equipment on 6" inch – thick sand lifts with prudent use of water.
- (4) If hardscape is to be constructed over the pool/spa area, fill sand may be back filled with suitable planting medium.
- (5) Final grading of the area shall be done so as to avoid ponding of irrigation or rainfall.

NOTE: The area of the pool/spa backfill **WILL NOT** be suitable for construction such as room additions, decks, etc., until a geotechnical investigation and inspection is performed by a Registered Soils Engineer. If any construction is proposed for this area in the future, it would be advisable to employ a soils engineer during the pool/spa demolition to avoid additional future costs related to a geotechnical investigation and possible removal and recompaction of backfill.

Inspections by a Building Inspector will be required of the following aspects of work:

- (a) Wiring system to the pumps and/or lighting shall be disconnected and all wiring associated pool/spa shall be removed from conduits or raceways.
- (b) Gas line shall be disconnected and capped off at meter and equipment.

The following inspections will be required by the Grading Inspector:

- (1) The "drain" holes at the bottom of the pool/spa must be observed.
- (2) The correct backfill rock and sand must be observed.
- (3) Inspection of the placement & compaction of the first lift of the fill & approval of compaction method
- (4) Finish grading will be inspected for proper drainage.

	CITY OF DANA POINT COMMUNITY DEVELOPMENT, BUILDING AND SAFETY 33282 Golden Lantern, Suite 209 Dana Point, CA 92629 949 248-3594 www.danapoint.org		B080-POOL DEMO
			2022 CALIFORNIA CODES <small>CODE CYCLE</small>
			01/02/2023 <small>EFFECTIVE DATE</small>
POOL DEMOLITION			

INTRODUCTION

This information is presented to make Contractors and Homeowners aware of the requirements for abandoning a conventional in-ground pool or spa. This work requires a Building Permit. If the existing pool location is to be built over, a separate soils and compaction report is required.

POOL DEMOLITION REQUIREMENTS

1. The bottom shall be removed or shall have a minimum of 6 evenly spaced holes punched through the bottom for drainage. Provide an 11 x 17 Site Plan indicating location of holes to be punched through. A site inspection of the removal or holes is required prior to any backfill.
2. The pool coping shall be removed to a minimum depth of 18" below the finished grade. When the removal of the coping is not desired, a re-purpose plan and Building Official approval is required.
3. If the site will be built on, or a grading permit is issued, a certified compaction report from a recognized lab is required. Without the compaction report, a restriction will be added to the site record.
4. When the complete pool shell is removed, and the fill is over 25 yards, a separate grading permit is required. The stockpiling of the demolition or fill materials in the City right of way is prohibited. Any work within the City Right of Way requires a separate encroachment permit.
5. Removal of any above ground pool plumbing including pumps and heaters is required.
6. When the electrical sub-panel is removed, the electrical sub-feed conductors shall be removed back to the electric service supply location.
7. Conversion of the existing pool electrical system to any other use will require a separate electrical permit and approval. An electrical inspection is required to determine if it is electrically safe.
8. The permit is based on the valuation of the work being done.
9. The pool/spa shall be filled in with one of the following materials: Sand (type SE25), dirt (compacted to 90%), gravel (3/4 crush) or any combination of materials specified in a soils report.
10. All applicable "Best Management Practices" provisions are required to prevent any materials or runoff onto City right of way or storm drainage system.
11. The Discharge of Pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.



CITY OF FOUNTAIN VALLEY

BUILDING DEPARTMENT

10200 Slater Avenue
Fountain Valley, CA 92708
714 593-4429
www.fountainvalley.org

2013 CALIFORNIA CODES

CODE CYCLE

01/01/2015

EFFECTIVE DATE

POOL AND SPA DEMOLITION/ABANDONMENT REQUIREMENTS

Purpose: To establish a method by which a residential homeowner may fill-in or demolish an existing gunite swimming pool/spa and re-establish final grade in affected area.

The following are general compliance requirements for swimming pool/spa demolition:

- Obtain required permit by submitting a Building Permit Application.
- Submit a scaled plot plan showing dimensions from pool perimeter to all structures and property lines. Included electrical equipment, waterlines, and gas pipes to be removed.
- Swimming pool shall be drained to an approved location and all deleterious materials to be removed.
- Break out and remove concrete for a minimum 24-inch diameter at 4'0" on center along the bottom center line of the pool shell exposing re-bar and soil below.
- Remove niche light, light cord, and all electrical wires.
- Remove all concrete (bond beam), coping material, and re-bar to a depth of 24 inches below finished grade.
- Fill pool with 6-inch layer of clean 2-inch aggregate at the bottom of the pool.

Back fill options:

- Add clean fill material to final grade that is free of deleterious materials. Fill material shall be placed in 6-9 inch lifts. Note on plot plan that backfilled area shall be designated as a "**None Structural Area.**"
- As an alternate to clean fill material, sand (type SE30 or better) may be used as backfill material to within two feet finish grade. Add two feet of clean fill material to finish grade that is free of deleterious materials. Note on plot plan that backfilled area shall designated as a "**None Structural Area.**"
- Otherwise, supply from state licensed soils engineer a compaction report including final grade and slope for surface drainage to street.

Inspection Requirements

- Two inspections are required for pool/spa removal. First, call for in-progress inspection when the holes, bond beam and utility removal have been completed. Finally, call for a final inspection after all work is completed.



City of Fullerton
Building Division
303 W. Commonwealth Ave.
Fullerton, CA 92832

Swimming Pool and Spa Demolition Guidelines

General Requirements:

A demolition permit is required to regulate the demolition and removal of a gunite swimming pool/spa to ensure that the area has been properly located, the pool bottom removed and the fill material has been approved and properly compacted.

The concern is that an abandoned gunite pool will act as a bowl and unregulated back-filling may create an area of super-saturated soil which could prove to be a hazard to the public's safety. The other consideration is that there may be a future building on the site and the uncertified fill would not be adequate to sustain the loading and the new structure would likely suffer structural damage.

Permit Process:

A demolition permit may be issued to the property owner or to a licensed contractor, following the established permit process. The fee is based on a valuation of **\$1.57** per square foot of the swimming pool/spa area. A demolition bond of **\$1.57** per square foot is required to ensure that the proper methods have been used. A plot plan showing the location, demolition procedure, and the required inspections is required.

Inspection Process:

The permittee must remove a section of the deep end having an area of at least 100 square feet. The sidewalls of the pool must be removed to a depth of at least 2 feet below finish grade. All debris must be properly disposed of off-site. An inspection is required to insure that the above has been completed.

Backfill material may be uncompacted sand to the full depth of the pool wall. Exception: The top 24 inches may be topsoil or other similar material for landscape purposes. Backfill material other than sand must be compacted to a relative density of 90% and a soils engineers report, or records of proper compaction made by a recognized test lab (approved by the Building Official), must be provided for final approval. Inspection of the backfill material by the City Inspector is required.

The permittee must request a final inspection for the approval of the demolition work and the release of the bond.

GARDEN GROVE

CEDD Policies and Procedures

Pool and Spa Demolition Policy

Purpose:

To establish a standard for demolition and backfill of existing swimming pools.

Policy:

When a swimming pool/spa is to be demolished and backfilled, the following shall be required:

1. Prior to commencing any demolition activity, a building permit shall be issued and appropriate fees paid. A single permit may be issued to cover building, plumbing, and electrical demolition work. A city plot plan form must be completed by the applicant. The form shall specify the exact locations of the pool to be demolished and other structures on the site.
2. Remove bond beam and gunite pool walls to a minimum of 24 inches below existing grade.
3. Pool floor shall be broken up to permit the free drainage of water. A minimum of two holes shall be made. A hole not smaller than 4 square feet shall be made in the deep end and one in the shallow end of the pool. Additional 1 square feet holes shall be distributed evenly at a rate of one for every 50 square feet of the pool area.
4. All utilities serving the pool (plumbing, electric, mechanical) shall be terminated in an approved manner.
5. An inspection shall be requested prior to back-filling pool/spa and shall be inspected by the City Building Inspector verifying removal of bond beam 24 inches below existing grade, drainage holes and correct termination of utilities.
6. Upon approved inspection by the City Building Inspector, back-filling of the pool/spa shall commence, subject to the following conditions:
 - A Soils Engineer shall certify that the expansion index of the fill does not exceed 20 or obtain Building Official approval.
 - A Soils Engineer shall certify that the fill is compacted to a minimum of 90% of the maximum density.
7. The expansion index and compaction certification shall be filed with the building inspector before the permit can be finalized.

Analysis:

This policy provides a detailed guideline on pool demolition. This guideline may also be used for demolition of similar subsurface structures like septic tanks and seepage pits. Required certification from a Soils Engineer may be waived if the pool is located where no future structure is allowed to be built.

City of Huntington Beach
Department of Community Development
GUIDELINES FOR SWIMMING POOL DEMOLITION
2000 Main Street, Huntington Beach, CA 92648
Office: (714) 536 - 5241 Fax: (714) 374 - 1647

Plans Required

Provide a plot plan showing the location of the swimming pool and all setbacks from structures and property lines.

Specifications

Submit a preliminary report, prepared by a licensed Soils (**Geotechnical**) Engineer, outlining the procedures of how the swimming pool will be demolished or abandoned.

Minimum Standards

1. Break out or puncture holes in the bottom of the pool/spa structures to allow water to drain.
2. Remove all decking and pool structures bond beam to within 12" below grade.
3. Remove all electrical conduit and gas lines.
4. Back fill with minimum 3/4" gravel to a depth of 6" along entire pool/spa bottom.
5. Backfill with dirt and compact every 12" lift of dirt up to the finished grade.
6. Submit a soil compaction report, signed by a licensed Soils Engineer, demonstrating that a minimum compaction of 90% has been achieved.

Permits Required

A demolition permit is required to be obtained prior to any work. Any homeowner, General Contractor (B-1), Swimming Pool Contractor (C-53) or Demolition Contractor (C-21) may apply for a demolition swimming pool permit.

Inspections

After a demolition permit has been obtained, the following elements must be inspected:

1. Bottom and bond beam removal.
2. Disconnection and removal of electrical lighting, electrical feeds for equipment and gas line.
3. Final inspection - finish grade and submitted soils report compaction.

For inspections, go to: www.huntingtonbeachca.gov/aca



INFORMATIONAL BULLETIN

Bulletin No.: 217
Page 1 of 2
Effective: 07/01/91
Revised: 11/05/97
Revised: 9/23/02
Revised: 01/12/15

J. Kirpatrick
Chief Building Official

SWIMMING POOL AND SPA REMOVAL/DEMOLITION

The removal of an in-ground swimming pool or spa requires a building permit subject to both plan check and planning approval. Minimum permit fees shall apply.

The following general standards apply.

PLAN SUBMITTAL REQUIREMENTS

Two copies of dimensioned site plans indicating the pool or spa location along with the following notes:

1. Area of the removed pool (or spa) is intended for future landscaping and flatwork only-fill is to be certified as non-structural. **OR** Area of the removed pool (or spa) is intended as a possible building pad-fill to be certified as structural.
2. All work shall conform to the construction standards defined within the City of Irvine Information Bulletin 217, copy attached hereto.

CONSTRUCTION STANDARDS

Prior to placing any fill, the following are required to be approved by the City Inspector:

1. To facilitate drainage within the fill area, at a minimum, 12 inch diameter holes, starting at the low point and six feet on-center thereafter shall be made in the pool or spa bottom. Additional holes or complete removal shall be performed as prescribed by the registered soil engineer.
2. If the area of the removed pool (or spa) is intended as a possible building pad, the side walls shall be removed to a minimum of 24 inches below finish grade or more as prescribed by the soil engineer.

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Revised: 01/12/15

Backfill requirements:

4. Backfilling operation shall be supervised by a registered soils engineer.
5. Backfill material shall be placed in individual maximum one-foot lifts and compacted to a minimum 90% relative density.
6. Finished contours shall ensure that a minimum 2% slope away from any building is provided, and that drainage is not conducted over any property line. Concentrated drainage shall be conducted to the street via a non-erosive device.

Final Inspection:

7. A final inspection is required when all work is complete as specified above. The registered soil engineer shall prepare and provide a wet stamped copy of a Final Compaction Report to the City inspector on or before this time.

LA HABRA CITY POOL DEMOLITION REQUIREMENTS

City of La Habra Building and Safety Division

Swimming Pools Spas and Hot Tubs Requirements

POOL DEMOLITION REQUIREMENTS:

- a. Obtain a demolition permit and cap off sewer, gas, and electrical lines.
- b. Install holes in bottom of pool 12 inches square in four places for water drainage.
- c. Tear back pool rim and remove top part of pool down 24 inches.
- d. Obtain soils report from a licensed soils engineer for soil compaction.



GUIDE TO POOL DEMOLITION

MINIMUM REQUIREMENTS

Property Owner	Date
Address	Phone

INTRODUCTION

This information is presented to make Homeowners aware of the requirements for abandoning a conventional in-ground pool or spa. This work requires a Building Permit. If the existing pool location is to be built over, a separate soils and compaction report is required.

POOL DEMOLITION REQUIREMENTS

1. The bottom needs to be removed 4 feet wide length of pool. Site inspection of the removal hole is required.
2. When pool coping is removed, it shall be removed to a minimum depth of 18 inches below the finished grade. (Removal of the coping is not a requirement.)
3. If the site will be built on, a certified compaction report from a Soil Engineer is required.

Owner Signature

4. The stockpiling of the demolition or fill materials in the City right-of-way is prohibited. Any work within the City right-of-way requires a separate encroachment permit. (See Public Works Department)
5. Removal of all above ground pool plumbing including pumps and heaters is required.
6. When the electrical sub-panel is removed, the electrical sub feed conductors shall be removed back to the electric service supply location.

See reverse for more guidelines

LA PALMA CONTINUED

7. Conversion of the existing pool electrical system to any other use will require a separate permit and approval. An electrical inspection is required to determine if it is electrically safe.
8. The Building Permit is based on the valuation of the work being done.
9. Inspection is required to verify the drainage holes in the pool bottom before the pool/spa is filled in.
10. After pool bottom is removed, add gravel minimum 12 inches thick bed of 3/4 inches rock to insure proper drainage.
11. If debris is broken up into maximum 6 inches diameter size pieces, it may be left in pool cavity.
12. The pool/spa must be filled in with sand (type SE25), dirt (compacted 90%) and gravel, or as specified in the soils report.
13. All applicable "Best Management Practices" provisions are required.
14. If not using Park Disposal Dumpster, obtain Construction Waste Management Plan form (Attach weight slips).
15. The discharge of pollutants to any storm drainage system is prohibited. No solid waste petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.

Building Permit Process Building Department (714) 690-3340 Cash or Check only

- Fill out and sign this form.
- Submit plot plan:
 - Location of pool equipment
 - Set-backs of pool
- Provide valuation (cost of job) for the purpose of establishing a permit fee only.
- Inform Permit Tech if a certified compaction report from a Soil Engineer will be provided to the Inspector prior to final inspection.

Inspection Schedule Tuesday, Wednesday, Thursday (714) 690-3340

- Site inspection of the removal of bottom of pool.
- Inspection to verify gravel backfill.
- Final inspection:
 - Removal of pool equipment.
 - Pool filled in to final grade.
 - If applicable, submit compaction report.
 - If applicable, submit Construction Waste Management Plan with waste slips.



City of Laguna Niguel
Building Division
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
(949) 362-4360 FAX 362-4369
www.CityofLagunaNiguel.org

SWIMMING POOL / SPA DEMOLITION REQUIREMENTS

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Demolition of a swimming pool/spa requires preparing the pool/spa for backfilling, and placement and compaction of backfill material. The following procedure is authorized by issuance of demolition permit which may be obtained from the Building Department. A site plan showing the pool and equipment location is required. Request a Building Inspection prior to covering the demolished areas.

- Break out a minimum of two 24-inch-diameter or equivalent holes in the pool/spa bottom for drainage (one hole for a spa). One of the holes shall be at the low point in the pool/spa.
- Place a 12-inch-thick layer of pea gravel over the entire bottom of the pool/spa.
- Continue to backfill the pool/spa with easily compacted "dirty" sand, commonly called fill sand at building supply outlets. Fill with dirty sand to within 30 inches of the final surface. Broken concrete from the pool/spa decking or coping shall not be used for backfill. Compact the soil firmly with hand compaction equipment on 6-inch-thick sand lifts with prudent use of water.
- If hardscape is to be constructed over the pool/spa area, fill sand may be placed up to the subgrade level for the hardscape material.
- If the pool/spa area is to be landscaped, the upper 18 inches may be backfilled with suitable planting medium.

NOTE: The area of the pool/spa backfill WILL NOT be suitable for construction such as room additions, decks, etc., until a geotechnical investigation and inspection is performed by a Registered Soils Engineer. If any construction is intended for this area in the future, a geotechnical engineer shall approve the method of backfilling and provide a letter of acceptance.



POOL / SPA DEMOLITION

City standards for all pool and spa demolition permits

Permit Required

A demolition permit is required to be obtained prior to any work.

A homeowner, General Contractor (B-1), Swimming Pool Contractor (C-53) or Demolition Contractor (C-21) may apply for the permit.

Required

1. Submit through the City's Online Permit Portal a plot plan showing the location of the swimming pool and set backs from structures and property lines .
2. Remove all decking and pool bond beam to within 12" below grade.
3. Remove all pool equipment, relating electrical conduit and gas lines. Electrical & gas capped off at the meter location

Choose one of the following options:

Option A – No soils engineer involved

1. Leave shell.
2. Remove the top 24" of pool wall.
3. Drill (2) – 3'x 3' holes in the lowest portions of the pool bottom.
4. Fill pool shell with crushed rock to within 18" of finished grade.
5. Apply "Geo-technical filter cloth" over rock.
6. Cover with top soil and compact as needed to prevent future consolidation.

Option B – With soils engineering

1. Break out entire pool bottom or puncture holes, as in "Option A" above, in the bottom of the pool structure or remove shell completely.
2. Back fill with minimum $\frac{3}{4}$ " gravel to a depth of 6 ft along entire pool/spa bottom.
3. Backfill with dirt and compact every 12" lift of dirt up to the finished grade.
4. Submit a soil compaction report, signed by a licensed Soils Engineer, demonstrating that a minimum compaction of 90% has been achieved.

Inspections

After a demolition permit has been obtained, the following elements must be inspected:

1. Bottom and bond beam removal.
2. Disconnection and removal of electrical lighting, electrical feeds for equipment and related gas lines.
3. Final inspection – finish grade (Option B - Submit required soils compaction report).

Inspections may be scheduled for the following workday through the City's Online Permit Portal or by calling 949-707-2660. If you have any additional questions regarding this process, you may contact a Building Inspector at 949-707-2678.



Building & Safety Division
100 Civic Center Drive
Lake Forest, CA 92630
(949) 461-3470

Swimming Pool Demolition Requirements

Demolition of a swimming pool requires preparing the pool for backfilling, and placement and compaction of backfill material.

The procedure is authorized by issuance of a demolition permit which may be obtained at the public counter.

- Break out three 2' x 2' or equivalent holes in the pool bottom for drainage. One of the holes in the pool bottom for drainage - two of the holes shall be at the low point in the pool.
- Place a 18" thick layer of pea gravel or #4 rock over the fill holes only. Decking or coping should be removed to a depth of 12" below grade minimum.
- Continue to backfill the pool with easily compacted "dirty" sand, commonly called fill sand at building supply outlets. Fill with dirty sand to within 30" of the final surface. Ninety percent relative compaction is required which should easily be achieved with hand equipment on 6" thick sand lifts with prudent use of water.
- If hardscape is to be constructed over the pool area, fill sand may be placed up to the subgrade level for the hardscape material.
- If the pool area is to be landscaped, the upper 18" may be backfilled with suitable planting medium.
- Final grading of the area shall be done so as to avoid ponding of irrigation or rainfall.
- The area of the pool backfill will not be suitable for construction such as a room addition until a foundation investigation is performed which will include compaction tests of the backfill.
- Inspections by a Building Inspector will be required of the following aspects of work:
 1. Wiring system to pumps and/or lighting shall be disconnected and all wiring associated with pool shall be removed from conduits or raceways.
 2. Gas line shall be disconnected and capped off at meter and equipment.
 3. The "drain" holes at the bottom of the pool must be observed.
 4. The correct backfill rock and sand must be observed or approved by Geotech report (Compaction Report).
 5. Finished grading will be inspected for proper drainage.

If the backfill rock and sand are on site in **sufficient** quantity when inspection of the drain hole is made, then no further inspection is required until the backfilling is completed at which time a final inspection will be made.

If the backfill material is not on site or the volume is **insufficient**, then an inspection will be necessary to observe placement and compaction of the backfill material.



City of Los Alamitos

Community Development: Building & Safety Division
3191 Katella Ave.
Los Alamitos, CA 90720-5600
(562) 431-3538

Pool and Spa Demolition

A permit is required in order to demolish an in-ground pool or spa. A homeowner, General Contractor, Swimming Pool Contractor or Demolition Contractor, may apply for the permit.

PERMIT REQUIREMENTS

1. Provide a plot plan showing the location of the swimming pool and set backs from structures and property lines (3) sets required.
2. Remove all decking and pool bond beam to within 18" below grade.
3. Remove all above ground pool equipment, related electrical conduit, exposed plumbing and gas lines.

DEMOLITION REQUIREMENTS

1. Remove the top 18" of pool wall.
2. Drill (3) – 3'x3' holes. Two holes in the lowest portion of the pool bottom and one in the upper portion of the pool bottom. Drill (1) – 12" hole in spa.
3. Fill bottom of pool/spa with 12 inches of ¾ inch rock. If debris is broken up into maximum 6" diameter size pieces, it may be left in the pool.
4. The rest of the pool/spa must be filled in with either:
 - a. Sand
 - b. Dirt, compacted to 90% with soils compaction test
 - c. Or as specified in a soils report by licensed Soils Engineer
5. Two inspections are required. The first to verify holes in the bottom of the pool and the bond beam has been cut out. The second is to verify the work has been completed.

OTHER

1. The building permit is based on the valuation of work being done.
2. If the pool area will be built on, a certified compaction report from a Soils Engineer is required.
3. If the pool area will be landscaped, the upper 18" may be backfilled with suitable planting material.
4. The stock piling of demolition or fill materials in the City public right-of-way is prohibited.
5. All applicable Best Management Practices are required and discharge of pollutants to a storm drain system is prohibited
6. Contact DigAlert at 811 or dialert.org, two working days prior to digging.



POOL / SPA DEMOLITION

City standards for all pool and spa demolition permits

Permit Required

A demolition permit is required to be obtained prior to any work.

A homeowner, General Contractor (B-1), Swimming Pool Contractor (C-53) or Demolition Contractor (C-21) may apply for the permit.

Required

1. Provide a plot plan showing the location of the swimming pool and set backs from structures and property lines (3) sets required.
2. Remove all decking and pool bond beam to within 12" below grade.
3. Remove all pool equipment, relating electrical conduit and gas lines.

Choose one of the following options:

Option A – No soils engineer involved

1. Leave shell.
2. Remove the top 24" of pool wall.
3. Drill (2) – 3'x 3' holes in the lowest portions of the pool bottom.
4. Fill pool shell with crushed rock to within 18" of finished grade.
5. Apply "Geo-technical filter cloth" over rock.
6. Cover with top soil and compact as needed to prevent future consolidation.

Option B – With soils engineering

1. Break out entire pool bottom or puncture holes, as in "Option A" above, in the bottom of the pool structure or remove shell completely.
2. Back fill with minimum $\frac{3}{4}$ " gravel to a depth of 6 ft along entire pool/spa bottom.
3. Backfill with dirt and compact every 12" lift of dirt up to the finished grade.
4. Submit a soil compaction report, signed by a licensed Soils Engineer, demonstrating that a minimum compaction of 90% has been achieved.

Inspections

After a demolition permit has been obtained, the following elements must be inspected:

1. Bottom and bond beam removal.
2. Disconnection and removal of electrical lighting, electrical feeds for equipment and related gas lines.
3. Final inspection – finish grade (Option B - Submit required soils compaction report).

Inspections may be scheduled for the following workday by calling 949-222-4696. If you have any additional questions regarding this process, you may contact a Building Inspector at 949-470-3054.



NEWPORT BEACH POOL DEMOLITION REQUIREMENTS

In order to obtain a Pool Demolition Permit:

- Provide two sets of plans.
- Draw a site plan (aerial view) of your property in the space provided at the right-side of this sheet. See the "Example Site Plan" for the required information.
- Choose one of the following two methods that you will utilize to demolish the pool.

Method A- The "No Soils Engineer" Approach

- Leave shell in place.
- Remove the top 24" of the pool walls.
- Punch (2) - 3'x3' holes in bottom of pool shell at lowest locations.
- Fill pool shell with crushed rock to within 18" of surface.
- Use geotechnical filter cloth over rock.
- Cover with top soil and compact as needed to prevent future consolidation.

Method B- Use a Soil Engineer

- Remove shell completely.
- Fill hole per a soil engineer's recommendation and site observation of compaction, along with testing.
- Submit a copy of compaction report to the building inspector.

For Both Methods

- Verify Site Drainage.
- Inspector will verify the plumbing and electrical are properly abandoned.
- Obtain drainage permit (if drainage is altered or plumbing permit is adding or relocating area drains).

Alternate Method

- If an alternate demolition procedure is preferred, list the steps below. A plan check engineer will review it.



PLACENTIA
Rich Heritage, Bright Future

\$500 DEMOLITION BOND, REFUNDABLE

(1) 50 SQUARE FOOT HOLE AT BOTTOM

DEMO COPING, BOND BEAM 2' AROUND THE EXTERIOR

BACKFILL AND COMPACT WITH CLEAN DIRT IN LIFTS

SOIL COMPACTION TEST 90% MINIMUM

FRISCH AND SONS INC.



POOL & SPA DEMOLITION GUIDELINES
HELP FOR THE HOMEOWNER
CITY OF RANCHO SANTA MARGARITA

In pursuant to the California Building Code (CBC), Section 3303.1, the following is required for pool demolition permits:

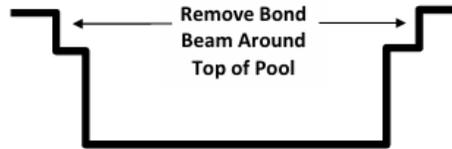
1. Provide 2 copies of a site plan with a description of the scope of work (indicate what material(s) will the pool and/or spa be filled with).
2. The bottom of the pool and the coping must be completely removed.
3. Required inspections:
 - a) Removal of pool bottom (before filling it in)
 - b) Final grade
4. The pool/spa must be filled in with sand (type SE25) or dirt (compacted at 95%).
5. If dirt is used, a certified compaction report from a recognized lab is required at final (compacted at 95%).
6. A Construction & Demolition Waste Recycling Plan Tonnage Conversation Worksheet is required at time of permit issuance (available at the front counter).
7. Must have Water Quality Best Management Practices in place during construction (handout available at front counter).



Planning & Building Agency
Building Safety Division
20 Civic Center Plaza
P.O. Box 1988 (M-19)
Santa Ana, CA 92702
(714) 647-5800
www.santa-ana.org

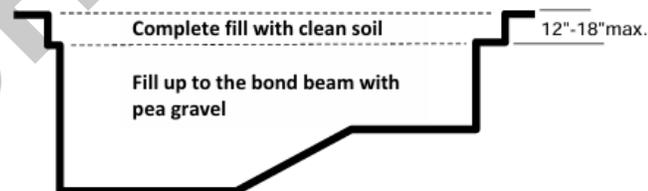
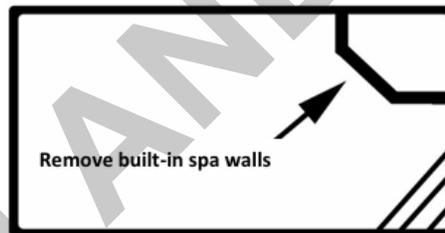
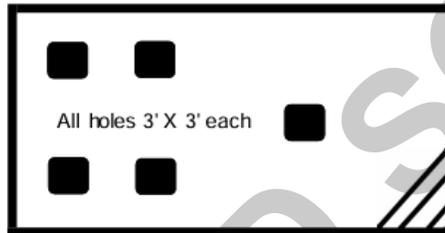
ABANDONED POOLS

BLD-16 CBC 2022



Typical depth of bond beam is 12" - 18"

Jack hammer 5 holes in the bottom of the pool
4 holes in the deep end and 1 hole in the shallow end





7800 Katella Avenue • Stanton, CA 90680
(714) 379-9222 • Fax (714) 890-1443

SWIMMING POOL/SPA DEMOLITION REQUIREMENTS

A permit is required in order to demolish an in-ground pool or spa. A homeowner, General Contractor, Swimming Pool Contractor or Demolition Contractor, may apply for the permit.

PERMIT REQUIREMENTS

1. Provide a plot plan showing the location of the swimming pool and set backs from structures and property lines (3) sets required.
2. Remove all decking and pool bond beam to within 12" below grade.
3. Remove all pool equipment, related electrical conduit, exposed plumbing and gas lines.

DEMOLITION REQUIREMENTS

1. Remove the top 18" of pool wall.
2. Drill (3) – 3'x3' holes. Two holes in the lowest portion of the pool bottom and one in the upper portion of the pool bottom. Drill (1) – 2'x2' hole in spa.
3. Fill bottom of pool/spa with 12 inches of $\frac{3}{4}$ inch rock. If debris is broken up into maximum 6" diameter size pieces, it may be left in the pool.
4. The rest of the pool/spa must be filled in with either:
 - a. Sand, type SE25
 - b. Dirt, compacted to 90% with soils compaction test
 - c. Or as specified in a soils report by licensed Soils Engineer
5. Two inspections are required. The first to verify holes in the bottom of the pool and the bond beam has been cut out. The second is to verify the work has been completed.

OTHER

1. A Construction and Demolition Plan and refundable deposit will be required at permit issuance.
2. If the site will be built on, a certified compaction report from a Soils Engineer is required.
3. The stock piling of demolition or fill materials in the City public right-of-way is prohibited.
4. Contact DigAlert at 811 or digalert.org, two working days prior to digging.



POOL DEMOLITION REQUIREMENTS

DRAINAGE HOLES (3) 2' X 2'

24" DOWN ON BOND BEAM

SOIL COMPACTION TEST 90% MINIMUM

DEMO DEBRIS - 6" OR SMALLER CAN BE USED IN BACKFILL

BACKFILL ONLY IS ALLOWED, IF APPROVED ON PLANS

FRISCH AND SONS INC.



City of Westminster

8200 Westminster Boulevard, Westminster CA 92683 714.548.3254
www.westminster-ca.gov

GUIDELINES FOR SWIMMING POOL DEMOLITION FOR FUTURE CONSTRUCTION

Submittal Requirements

1. Submit a preliminary soil report, prepared by a licensed Soils Engineer, outlining the procedures of how the swimming pool will be demolished **for FUTURE CONSTRUCTION** (Submit 2 Copies).
2. Submit a site plan / plot plan drawn to scale showing all information necessary to describe the scope of work (Submit 2 copies). Minimum plan shall include all the following:
 - Property address & assessor's Parcel Number
 - Fully dimensioned property lines
 - Location and size of the pool/spa to be removed and other structures on the property.

Minimum demolition standards after building permit is issued:

1. Remove pool shell completely or break out entire pool bottom or puncture holes in the bottom of the pool structures per soil report.
2. Cut and remove pool equipment, gas, water, electrical lines and remove electrical breaker from service panel.
3. Backfill with approved compacted fill up to the finished grade as specified per soil report.
4. Prepare a soil compaction report, signed by a licensed Soils Engineer, demonstrating that a minimum compaction of 90% has been achieved and declaring that the abated area **for FUTURE CONSTRUCTION** (Soil compaction report shall be submitted to city inspector during final inspection).

Who can pull this demolition permit?

Any homeowner, General Contractor (B-1), Swimming Pool Contractor (C-53) or Demolition Contractor (C-21) may apply for a demolition swimming pool permit.

Inspections

After a demolition permit has been obtained, the following elements must be inspected:

1. 1st inspection: Bottom and bond beam removal per preliminary soil report. Disconnection and removal of electrical lighting, electrical feeds for equipment and gas lines.
2. Final inspection: Finish grade and collection of a soil compaction report.

Inspections may be scheduled for the following workday by calling (714) 895-2898 prior to 4:30 p.m.

YORBA LINDA (3 PAGES)



CITY OF YORBA LINDA

4845 Casa Loma Avenue Yorba Linda, California 92886

BUILDING DIVISION (714) 961-7120

Procedure No. 003

Procedure Subject: Swimming Pool Demolition
Effective Date: 06/13/2011
Revised: 05/13/2019

This procedure applies to the partial or total removal of an inground gunite pool or spa. This procedure shall be adhered to by Building Division staff and the applicant regarding permit issuance and the demolition and inspection process outlined within.

Complete removal of the pool/spa structures

1. Obtain a demolition permit prior to the start of any demolition work.
2. Disconnect and remove the gas line at the point of connection to the primary gas service to the home, apartment, condominium or community pool structure. Remove gas line from the point of connection to the pool equipment location. Exception: Gas lines under concrete sidewalks, patio slabs on grade or permanent concrete accessory structures need not be removed.
3. Disconnect and remove the electrical conduit and wiring at the point of connection to the primary electrical service to the home, apartment, condominium or community pool structure. Remove the circuit breaker(s) in the main service panel used for the swimming pool/spa equipment and place an approved cover "blank" over the opening in the sub-panel or main panel. Remove electrical conduit and wiring from the point of connection to the pool equipment. Exception: Electrical conduit under concrete sidewalks, patio slabs on grade, or permanent concrete accessory structures need not be removed, however all wiring must be removed.
4. The permit applicant shall call for an inspection of the removal of gas and electrical services to the swimming pool prior to the removal of concrete pool. No demolition of the swimming pool may be performed until this inspection is performed and approved by a City of Yorba Linda Building Inspector.
5. Demolish and remove all concrete and steel reinforcing, plumbing lines serving the filter system and any pool features with water service, all electrical conduit and wiring (high and low voltage) serving the pool and any pool features with electrical service. All concrete, reinforcing, electrical conduit and wiring and plumbing lines shall be removed from the site and disposed of in an approved manner.
6. All excavations shall be filled and compacted. The fill material used shall be approved by a Geotechnical Engineer. All fill shall be compacted to a minimum of 90%. The fill and compaction process shall be verified by the Geotechnical Engineer of record. At the time of completion of the fill and compaction process, the Geotechnical Engineer shall provide a letter on their letterhead that is stamped, signed and dated by the Geotechnical Engineer stating the fill used is appropriate, and a minimum 90% compaction was achieved throughout the process for the entire depth of the fill. The top (2) two feet of fill material shall be suitable for planting and sustaining vegetation. However, if no vegetation is proposed, then the fill material shall be suitable and compacted for hardscaping

purposes.

7. The permit applicant shall call for a final inspection by the City. At the final inspection, the applicant shall provide to the City of Yorba Linda Building Inspector an original copy of the letter prepared by the Geotechnical Engineer stating the fill material used and the compaction minimum of 90% as being achieved. Applicant shall provide dump receipts to inspector at time of inspection for all pool/spa debris removed.
8. At the time of the final inspection, the site shall be free of all debris, waste, all electrical and plumbing services removed and terminated, and the site is clean and proper drainage is provided. Upon verification all items listed, the City inspector will approve the final inspection.

Partial removal of the pool/spa structures:

Note: Partial pool and spa demolition shall not be eligible for reconstruction over the former pool or spa location.

1. Obtain a demolition permit prior to the start of the any demolition work.
2. Disconnect and remove the gas line at the point of connection to the primary gas service to the home, apartment, condominium or community pool structure. Remove gas line from the point of connection to the pool equipment location. Exception: Gas lines under concrete sidewalks, patio slabs on grade or permanent concrete accessory structures need not be removed.
3. Disconnect and remove the electrical conduit and wiring at the point of connection to the primary electrical service to the home, apartment, condominium or community pool structure. Remove the circuit breaker(s) in the main service panel used for the swimming pool/spa equipment and place an approved cover "blank" over the opening in the sub-panel or main panel. Remove electrical conduit and wiring from the point of connection to the pool equipment. Exception: Electrical conduit under concrete sidewalks, patio slabs on grade, or permanent concrete accessory structures need not be removed, however all wiring must be removed.
4. The permit applicant shall call for an inspection of the removal of gas and electrical services to the swimming pool, prior to the removal of concrete pool. No demolition of the swimming pool may be performed until this inspection is performed and approved by a City of Yorba Linda Building Inspector.
5. Demolish and remove all concrete and steel reinforcing, plumbing lines serving the filter system and any pool features with water service, all electrical conduit and wiring (high and low voltage) serving the pool and any pool features with electrical service. All concrete, reinforcing, electrical conduit and wiring and plumbing lines shall be removed from the site and disposed of in an approved manner.
6. The top two (2) feet of the pool and spa shall be removed. This shall include all coping material, tile, concrete and steel. Also, a minimum of three holes shall be placed in the bottom of the main and shallow end of the pool. The holes shall be a minimum of (2) feet square and distributed along the length of the bottom of the pool. All holes shall have concrete, debris, and steel removed to expose the soil below. Additional holes may be required where water may be trapped and will not drain to the holes provided.
7. The permit applicant shall call for an inspection to verify the removal of the top two (2) feet minimum of

the pool/spa and the two (2) foot square holes. No back filling shall take place until this inspection is performed. Applicant shall provide dump receipts to inspector time of inspection for all pool/spa debris removed.

9. All excavations shall be filled and compacted. The fill material used shall be approved by a Geotechnical Engineer. All fill shall be compacted to a minimum of 90%. The fill and compaction process shall be verified by the Geotechnical Engineer of record. At the time of completion of the fill and compaction process, the Geotechnical Engineer shall provide a letter on their letterhead that is stamped, signed and dated by the Geotechnical Engineer stating the fill material used is appropriate, and the minimum 90% compaction was achieved throughout the process for the entire depth of the fill. The top (2) two feet of fill material shall be suitable for planting and sustaining vegetation. However, if no vegetation is proposed, then the fill material shall be suitable and compacted for hardscaping purposes.
8. The permit applicant shall call for a final inspection by the City. At the final inspection, the applicant shall provide to the City of Yorba Linda Building Inspector an original copy of the letter prepared by the Geotechnical Engineer stating the fill material used and the compaction minimum of 90% as being achieved.
9. At the time of the final inspection, the site shall be free of all debris, waste, all electrical and plumbing services removed and terminated, and the site is clean and proper drainage is provided. Upon verification all items listed, the City inspector will approve the final inspection.



Building Official

FRISCH AND SONS INC.

Swimming Pool Demolition Requirements

Demolition of a swimming pool requires preparing the pool for fill placement and the placement and compaction of backfill material within the pool excavation until finish grade is achieved.

The demolition and backfill procedure is authorized by issuance of a demolition permit which may be obtained at www.myOCeServices.ocgov.com.

- Break out at least two 12" minimum diameter or equivalent holes in the pool bottom for drainage. One of the holes shall be at the low point in the pool. This portion of procedure will require a "Bottom Removal Inspection" prior to any backfill being placed.
- A minimum of 12 inches of #4 rock (1 inch to 2 ½ inches in size) shall be placed at the bottom of the pool. Demo materials from the decking or coping may be placed on the gravel prior to backfill. The dimension of the decking or coping material shall not exceed 3 inches.
- Continue to backfill the swimming pool with easily compacted" fill sand", which can typically be obtained at local building supply outlets. Fill sand may be utilized to complete the backfill.
- If the swimming pool backfill is to be considered non-structural/landscape backfill, the backfill materials shall be moisture conditioned, placed in lifts and tractor rolled or tamped into place with hand equipment (i.e. whacker). No specific compaction criteria will be required.
- If the backfilled pool area is to be non-structural/landscape, the upper 18" may be backfilled with suitable planting medium.
- If the swimming pool backfill is to be considered structural backfill suitable for support of a future structural improvement, the backfill will need to be placed in lifts and compacted to a minimum of ninety percent (90%) relative compaction. A compaction report from a geotechnical consultant to document the backfill operations will be required for "Final Inspection" and demo permit closure.
- The area of the swimming pool backfill will not be considered suitable for construction of structural improvement(s), such as a room addition, until a geotechnical foundation investigation is performed. The geotechnical foundation investigation report will provide recommendations for design and construction of the proposed improvement(s).
- Final grading of the area shall be done to avoid ponding of irrigation or rainfall.
- Inspections by a Building Inspector will be required of the following aspects of work:
 1. Wiring System to pumps and/or lighting shall be disconnected and all wiring associated with pool shall be removed with conduits or raceways
 2. Gas line shall be disconnected and capped off at meter and equipment.
 3. The "drain" holes at the bottom of the pool must be inspected by County Staff prior to start of backfill operations.
 4. The correct backfill of rock and/or sand must be observed or verified by geotechnical consultant.
 5. Finished grading will be inspected for proper drainage.

	CITY OF SAN JUAN CAPISTRANO BUILDING DEPARTMENT 32400 Paseo Adelanto San Juan Capistrano CA 92675 949-443-6347 www.SanJuanCapistrano.org	POOL DEMO
		2019 CALIFORNIA CODES <small>CODE CYCLE</small>
		01/01/2020 <small>EFFECTIVE DATE</small>
SWIMMING POOL DEMOLITION PERMIT		

INTRODUCTION

Demolition of a swimming pool requires preparing the pool for backfilling, the placement and compaction of backfill material. There are two types of pool demolition permits:

Non-Structural – The post demolition area is to become a non-buildable area

Structural – The post demolition area is to become a buildable area

PLAN AND SUBMISSION REQUIREMENTS

Non-Structural – The area will no longer be a buildable area

- This must be called out on the plans and on the permit application
- Location of the pool area to be demolished and setbacks to property lines
- Distance to nearby remaining structures, such as detached garage, septic tank, or other accessory structures, label all structures
- The natural gas line and electrical wiring serving the pool and pool equipment must be capped off as part of the demolition process. This step will be verified during inspection.

Structural – The area will be available for future building projects

- This must be called out on the plans and on the permit application
- Location of the pool area to be demolished and setbacks to property lines
- Distance to nearby remaining structures, such as detached garage, septic tank, or other accessory structures, label all structure
- A Demolition, Drainage, and Compaction Plan prepared and wet stamped by a state licensed engineer
- A completed Special Inspection report that designates the supervising engineer or Special Inspection Agency that will both conduct the backfill compaction observation and provide a compaction report to the Building Department declaring the abated area as buildable
- The natural gas line and electrical wiring serving the pool and pool equipment must be capped off as part of the demolition process. This step will be verified during inspection.

ADDITIONAL COMPLIANCE REQUIREMENTS

- Orange County Public Works Swimming Pool Demolition Requirements
- Construction & Demolition Program is required

CITY OF ARCADIA POOL DEMOLITION REQUIREMENTS (PAGE 1 OF 2)

	CITY OF ARCADIA Building Services Division 240 W Huntington Drive Arcadia, CA 91007 (626) 574-5416 www.ArcadiaCA.gov	POOL DEMOLITION			
		BD <small>SECTION</small>	001 <small>FORM NUMBER</small>	2022 <small>CODE CYCLE</small>	
		04/11/2025 <small>EFFECTIVE DATE</small>		04/11/2025 <small>REVISION DATE</small>	
SWIMMING POOL DEMOLITION PROCEDURE					

GENERAL OPTIONS

Option A – Partial Pool Removal (for Landscaping/Open Space Use Only):

If the area where the pool is removed will remain as open space, such as a landscaped yard or garden, and will not support any structures, driveways, patios, or similar features, the pool shell may be left in place below ground, subject to the requirements listed under Option A.

Option B – Full Pool Removal (for Structural or Load-Bearing Use):

If the area is intended to support a structure—such as a new building, addition, garage, driveway, patio, deck, or similar improvement—the *entire* pool shell must be removed. All demolition debris must be hauled offsite to an approved disposal facility. The site must then be backfilled with approved engineered fill. A geotechnical report prepared by a licensed engineer shall be required for this option.

DEMOLITION REQUIREMENTS

OPTION A – Partial Pool Removal (Non-Structural Areas Only)

- **Acknowledgement Form:** The property owner(s) must complete and sign a Pool Demolition Acknowledgement Form at the time of permit application.
- **Wall Removal:** The sidewalls of the swimming pool, spa or hot tub shall be removed to a minimum depth of 6 inches below adjacent grade
- **Tile and Coping:** Coping and ceramic tile must be disposed of offsite unless broken into small pieces in which case it may be deposited in the bottom of the pool.
- **Exposed Steel:** Steel exposed during wall removal must be cut off and disposed of offsite.
- **Drainage Holes:** Two (2) 18-inch diameter holes shall be provided at the lowest elevation of the swimming pool, spa or hot tub floors. Schedule inspection at ArcadiaCA.gov/EDGE.
- **Backfill Process:**
 - Once the pool demolition preparation has been inspected and approved by the Building Division, backfill the pool with dirt/rock in thirty-six (36") inch layers. Level out and water down each layer. (Backfill material shall be an approved compactible material. Broken concrete or other construction debris are not acceptable fill materials.)
 - Backfill to within twelve (12") inches of finished surface.
 - Top thirty-six (36") inches of backfill shall be compacted to 90% density. Prior to final inspection, a soils test certifying compaction shall be provided to the City of Arcadia Building Division.
 - Final twelve (12") inches of fill material, to bring backfill of the pool level with adjacent yard/concrete areas, is to be clean, friable earth (Planting/top soil). Final twelve (12") inches of fill is to be placed on top of compacted thirty-six (36") inches of backfill material and raked level.

OPTION B – Full Pool Removal (For Future Structures)

- **Geotechnical Report:** At the time of permit application provide a Geotechnical Report stamped and signed by a licensed engineer clearly outlining recommendations for removal, backfilling, compaction and final grading of site.

- **Pool Removal:** Demolition and fill material shall be as specified by the Geotechnical Report, and will be required to be placed under the direct supervision of the project Geotechnical Engineer. All fill shall be placed in accordance with the geotechnical report and compacted to a minimum of 90% relative compaction, or as otherwise directed by the project Geotechnical Engineer.

INSPECTIONS:

- A minimum of two inspections are required for pool demolition.
- One inspection will be required to verify the drainage holes at the bottom of the pool or spa and/or the removal of concrete pool shell, open excavation, and placement of erosion control devices.
- One inspection will be required at time of final, when the excavation is completely backfilled and all approved and signed compaction test reports are available on site for the inspector.

SITE CLEANUP:

- Broom-sweep all decking, driveway, and street surfaces free of dirt and debris posited during the demolition process.
- Schedule a final inspection at ArcadiaCA.gov/EDGE and have the soils compaction report ready for submittal to the inspector.

PLEASE NOTE:

- As a condition of approval for the required pool demolition permit, the City of Arcadia Building Division requires that at least 65% of all qualified debris (e.g. wood, metal, electrical, piping, glass, asphalt, concrete) be recycled for purposes of compliance with the California Green Building Standards Code. For more information on recycling materials, please contact the Building Division at (626) 574-5416.
- Storage or placement of debris or materials in the street or public rights-of-way is prohibited unless permitted by the City of Arcadia Engineering Services at (626) 574-5411.
- Electrical wiring and conduit serving the swimming pool, spa, hot tub, or equipment shall be terminated at the source of supply and removed.
- Gas piping serving the swimming pool, spa or hot tub equipment shall be terminated at the source of supply and removed.
- Plumbing piping serving the swimming pool, spa, hot tub or equipment shall be terminated at the source of supply and removed.
- A dimensioned plot plan shall be provided indicating the location of the pool, pool equipment, and a note stating whether the shell is to remain or be removed.

OWNER ACKNOWLEDGEMENT:

As a condition of choosing option A, the owner shall complete and sign a form of acknowledgement, agreeing to the following:

- The owner agrees that by choosing option A, the backfill in a pool or spa shell or excavation may result in differential settlement and agrees to use the area for open, landscape or garden purposes only.
- The owner shall agree to disclose upon sale, the demolition of any pool or spa. Such disclosure shall include the size and location of the demolished pool or spa, and that such demolition was completed without full removal of the pool shell, and was filled with pool shell debris and backfilled.



**CITY OF AZUSA
BUILDING & SAFETY DEPARTMENT**

213 E. Foothill Blvd. Azusa, CA. 91702
(626) 812-5234 Fax (626) 334-5464
www.ci.azusa.ca.us

SWIMMING POOL/SPA DEMOLITION

A BUILDING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY WORK OR DEMOLITION ON THE PROPERTY. CONTACT THE BUILDING AND SAFETY DEPARTMENT AT (626) 812-5234 FOR ALL NECESSARY AND RELEVANT INFORMATION REGARDING THE DEMOLITION OF SWIMMING POOLS.

THE DEMOLITION OF SWIMMING POOLS SHALL CONSIST OF THE FOLLOWING:

- a. The concrete deck associated with the swimming pool shall be removed. (May vary)
- b. The top 18 inches of the vertical portion of the pool walls shall be broken and completely removed.
- c. All pool pumps, heating equipment, and related piping must be removed. Gas piping going to the heater, must also be removed at the source in an approved manner.
- d. All electrical wiring for the pool equipment must be removed at the source in an approved manner.
- e. The bottom of the pool needs to have minimum of (two) 36-inch by 36-inch hole openings, one at the deep and one at the shallow areas of the pool. This is to allow water to drain from the pool and percolate into the soil.
- f. After the holes are completed and inspected, the pool shall be filled with approved compactable materials to the adjacent grade. The top of the fill shall be comprised of a minimum 36-inch of clean fill dirt. Broken concrete, or other construction debris is not acceptable fill material.
- g. A certified compaction report by a geotechnical firm is required by the building official prior to final inspection. The report must indicate that the fill material was compacted to a 90% density.
- h. Final inspection is to be performed by a City of Azusa Building Inspector to verify compliance with all policies and procedures as specified herein.

LOS ANGELES COUNTY DEMOLITION REQUIREMENTS (1 OF 3 PAGES)



**ADMINISTRATIVE MANUAL
COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION**

**AM J103
Article 1
10-26-09
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The purpose of this AM is to establish the requirements for the backfilling of existing residential or commercial swimming pools or spas. The method of backfilling approved by Building and Safety depends on the intended future use of the fill by the applicant at the time the application is filed.

A pool or spa may be backfilled with engineered fill suitable for the support of footings of a new structure at a future date (Item I) or the pool or spa shell may be left in-place and backfilled with uncertified fill (Item II). In both cases, a **permit is required**.

I. BACKFILLING WITH STRUCTURAL COMPACTED FILL

Requirements for Placement of Engineered Fill: In accordance with Section J107 of Appendix J of the 2008 Los Angeles County Code, all material used to backfill swimming pools or spas shall be approved compacted fill, and compacted to a minimum of 90 percent relative compaction in accordance with ASTM D 1557. Such fill shall be tested for relative compaction by an accredited soils testing agency recognized and approved by Building and Safety (B&S).

A final compaction report prepared by a licensed civil or geotechnical engineer shall be submitted to B&S for review and approval prior to the Building Inspector granting approval of any fill. The following steps shall be followed when backfilling with structural compacted fill.

1. A site/plot plan showing pool/spa dimensions and setbacks from property lines and other structures on the property.
2. A grading permit shall be issued indicating that the pool/spa fill is compacted. The grading permit fee shall be based on the total amount of cubic yards of fill (no plan check fee will be charged). In cases where the fill amount data is not available, the grading permit fee shall be based on 50 cubic yards.
3. A demolition permit must be issued. (The demolition permit is in addition to the grading permit outlined above and is necessary for tax assessment purposes).
4. Permit technicians must enter pertinent information in DAPTS, on the job jacket, and on house numbering map.
5. Applicants must clearly indicate on the application the source of the dirt, to ensure that no unpermitted or improper grading operations are being conducted on site for the purpose of obtaining the needed dirt to fill the pool or spa.
6. The pool or spa shell shall be removed from the site upon soils engineer recommendation. The pool or spa may remain, upon review and approval by B&S, if the engineer recommends the location and percentage of the pool's bottom to be broken to allow for drainage.
7. If a bond beam is being demolished, concrete debris must not be placed within the pool's fill material.
8. The bottom of the pool or spa shall be inspected and approved by the soils engineer and B&S prior to placing of the compacted fill.
9. Existing gas/plumbing lines shall be properly capped, electrical wiring for pool equipment and pool lighting must be disconnected and removed.

10. Note on approved site plans that "Foundation for any newly proposed structure shall **not** be poured prior to approval of the final compaction report by B&S and issuance of applicable permits"
- 11 B&S shall be notified when the grading operation is ready for each of the following inspections:
 - a. Bottom/excavation inspection
 - b. Final inspection

II. BACKFILLING WITH UNCERTIFIED FILL AND LEAVING THE POOL OR SPA SHELL IN PLACE

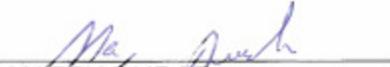
Conditions of Approval. Leaving the pool or spa shell in-place and backfilling with uncertified fill may be allowed in self contained areas where the fills are not to be used to support buildings or structures and no hazard will be created by this activity as determined by B&S.

The following steps shall be followed.

- 1 A site/plot plan showing existing pool/spa dimensions and setbacks from property lines and other structures on the property
2. A grading permit shall be issued indicating that the pool/spa fill is uncertified. The grading permit fee shall be based on the total amount of cubic yards of fill (no plan check fee will be charged). In cases where the fill amount data is not available, the grading permit fee shall be based on 50 cubic yards.
3. A demolition permit must be issued. (The demolition permit is in addition to the grading permit outlined above and is necessary for tax assessment purposes).
4. Permit technicians must enter clear information in DAPTS, on the job jacket, and on house numbering map that the pool/spa fill is un-compacted and not suitable for buildings.
5. File the site plan in the job jacket, and place a note on the job jacket as well as DAPTS stating "**Restricted area on site, not suitable for Building**".
6. The existing pool or spa shall not be located on ground sloping steeper than 10 percent. In the event that the pool is located on ground sloping steeper than 10 percent, then the backfilling procedures in Item I of this AM (backfilling with structural compacted fill) shall be followed
- 7 Applicants must clearly indicate on the application the source of the dirt, to ensure that no unpermitted or improper grading operations are being conducted on site for the purpose of obtaining the needed dirt to fill the pool or spa.
8. The plot plan shall have the following notes:
 - Provide a minimum of three drainage holes, a minimum of 24 inches in diameter, in the bottom of the pool/spa, a maximum of 8 feet apart to facilitate drainage. At least one hole shall be located in the deepest section of the pool shell.
 - Backfill material shall consist of clean soil or gravel.
 - Inspection and approval for all drainage holes by B&S is required prior to placement of any fills.
9. The backfilled area shall be used for landscaping purposes only

- 10 A "Covenant for A Restricted Use Area Regarding Maintenance of Uncertified Pool/Spa Fill" form (Attachment A) as provided by B&S must be completed. Approval of the document must be obtained from B&S prior to filing with the County Recorder. After the covenant is recorded; a certified copy of the covenant must be provided to B&S by the applicant prior to the issuance of any demo or grading permits.
- 11 Existing gas/plumbing lines shall be properly capped; electrical wiring for pool equipment and pool lighting must be disconnected and removed
- 12 If a bond beam is demolished, the concrete debris from the bond beam may be placed in the bottom of the pool to facilitate drainage, provided however, no concrete debris less than 6" in diameter, including coping, are placed within the required drainage holes.
- 13 B&S shall be notified when the grading operation is ready for each of the following inspections.
 - a. Bottom inspection after required drainage holes have been made and prior to placement of any fill
 - b. Final Inspection.

WRITTEN BY:


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Procedure for demolishing in-ground swimming pools
(This is for leaving the swimming pool in ground in lieu of complete removal.)

1. Obtain a swimming pool demolition permit. A dimensioned plot plan clearly showing the location of the pool is required.
2. Break up the concrete at the bottom of the pool at its deep & shallow end. Provide a min (4) holes at least 2' diameter in pool floor. Also remove side walls to a minimum of 5' below grade.
3. Remove electric supply to equipment or wire nut conductors and seal in weatherproof junction box. Remove or cap off any gas line.
4. Call (909) 399-5471 for inspection to verify the completion of steps 2 & 3.
5. Backfill with clean native soils in 6" lifts, each lift fully saturated and compacted to 90% under continuous deputy inspection by a licensed Geotech. A final Compaction report and deputy inspection report are required from the Geotech on final inspection.



Swimming Pool and Spa Demolition

Provide a plot plan showing the location of the swimming pool and setbacks from structures and property lines.

- Remove all decking and pool bond beam to 18" below grade.
- Remove all above ground pool equipment, related electrical conduit, exposed plumbing and gas lines.
- Drill (3) – 3'x3' holes. Two holes shall be located at the lowest portion of the pool bottom and one in the upper portion of the pool bottom. Drill (1) – 2'x2' hole at the bottom of the spa.
 - Additional 1 square feet holes shall be distributed evenly at a rate of one hole for every 50 square feet of the pool area.
- A minimum 18" of #4 rock (1" to 2-1/2" class II permeable free draining rock) shall be placed over the drain holes and the bottom of the pool shell.
 - If debris from pool is broken up into maximum 6" diameter size pieces, it may be left in the pool
- Backfill with compacted sand to within 24" of the finished grade.
 - If the pool area will be landscaped, the upper 24" may be backfilled with suitable planting material.
- Final grading of the area shall be done to avoid ponding of irrigation or rainfall.
- Ninety percent relative compaction is required.
 - A compaction report from a geotechnical consultant to verify compaction will be required for "Final Inspection".



Required Inspections

1. "Bottom Removal Inspection" prior to any backfill being placed is required.
2. Wiring System to pumps and/or lighting shall be disconnected and all wiring associated with pool shall be removed with conduits or raceways.
3. Gas line shall be disconnected and capped off at meter and equipment.
4. Removal of any above ground pool plumbing including pumps and heaters is required.
5. When the electrical sub-panel is removed, the electrical sub-feed conductors shall be removed back to the electric service supply location.
6. Conversion of the existing pool electrical system to any other use will require a separate permit and approval.
7. Final pool demo.

This guideline may also be used for the demolition of similar subsurface structures, such as septic tanks and seepage pits.



CITY OF EL MONTE

Economic Development Department
Building Division

Demolition of a Swimming Pool and Spa

Draining a Pool

Before draining your pool, please call the City's Engineering Department at 626-580-2058 for approval.

A Demolition permit is required to regulate the demolition of a gunite in-ground swimming pool and/or spa to ensure that the backfill materials and topsoil in the pool area drain properly and that the materials are adequately compacted to prevent future problems.

The concern is that the abandoned portion of the gunite in-ground swimming pool and/or spa will act as a bowl and unregulated backfilling may create an area of super-saturated soil which could prove to be a hazard to public safety. The other consideration is that there may be a future building or addition placed directly above the abandoned swimming pool location and uncompacted fill would not be adequate to support the load, causing the new structure to sustain structural damage as a result of differential settlement. It is important to note that compliance with this procedure does not guarantee that a future addition of a building structure will be allowed to be placed over the abandoned pool/spa. Much of that determination will depend on the codes in effect at that future date as well as the engineer's recommendations for the future structure.

Therefore, the following minimum requirements must be met:

1. Obtain a Demolition Permit from the Building and Safety Division. You will need a site plan showing the precise location of the swimming pool/spa and any other existing structures (i.e. garage and house). Consult with a Geotechnical Engineer as to the proper backfill materials to be used and the required compaction reports that will be required later (see item 6 below)
 2. Remove a two foot square section of the concrete gunite at the bottom of the pool at the lowest point in the deep end of the pool and another two foot square section in the shallow end. Additionally, a one foot square section of the concrete gunite must be removed from the bottom of the spa, if one exists. These removed sections will permit any water accumulating in the remaining portion of the pool/spa to drain into the soil below.
 3. Remove the pool coping, concrete gunite, and steel rebar around the entire perimeter of the pool and/or spa to a level of at least 12 inches below grade.
 4. Remove all electrical conductors serving the abandoned pool/spa from the electrical panel and remove or cap the vacated conduits. Also remove and cap any gas lines servicing the pool heater or similar abandoned gas fired appliances.
 5. Call for an inspection of the work performed to this point. Do not backfill with any materials until the Building Inspector has authorized you to proceed.
 6. Backfill the pool and/or spa with materials approved by your Geotechnical Engineer and have the Engineer test the soil compaction and provide a compaction report which states that a 90% (or better) compaction rating was achieved.
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7. Re-establish proper drainage slopes throughout the area.
 8. Schedule the final inspection with the Building Department at 626-580-2050. At the time of the final inspection, a copy of the compaction report will be given to the Building Inspector for review.
 9. A dumpster shall be acquired for all the demolition debris from Waste Management or Valley Vista prior to permit issuance.



City of Whittier

COMMUNITY DEVELOPMENT

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POOL DEMOLITION REQUIREMENTS

1. Provide plot plan.
2. Fill out applications for building, plumbing, and electrical permits.
3. Get clearance from Public Works.
4. Provide four 24" x 24" square holes at the deepest end of pool equally spaced
5. Remove pool deck, coping, and shell to 18" minimum below grade.
6. Call for first inspection.
7. Fill up pool cavity with clean organic-free back-fill, at 90% compaction. (Provide compaction report to building inspector during final building inspection. A final pool demolition approval will not be issued without a verified compaction report).
8. Cap abandoned water, gas, and electrical lines.
9. Call for final inspection.